




Tom Leatherwood
Shelby County Register

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18075679	
07/27/2018	01:06 PM
2 PGS	
LACI 1764523-18075679	
PLAT BOOK: 278	
PAGE: 17	
RECORDING FEE	15.00
DP FEE	2.00
TOTAL AMOUNT	17.00
TOM LEATHERWOOD REGISTER OF DEEDS SHELBY COUNTY TENNESSEE	

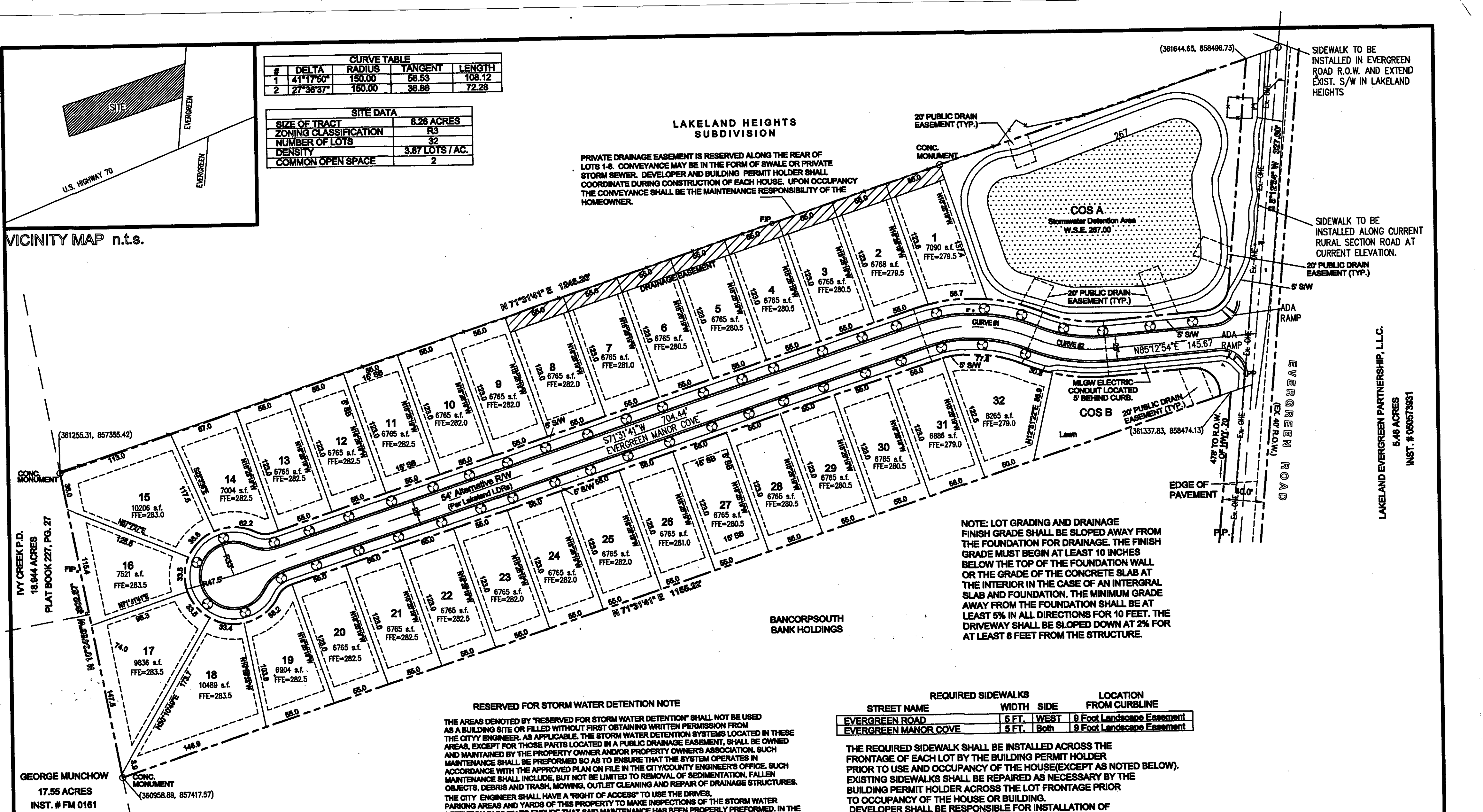
CURVE TABLE				
#	DELTA	RADIUS	TANGENT	LENGTH
1	41°17'50"	150.00	56.53	108.12
2	27°36'37"	150.00	38.86	72.28

SITE DATA	
SIZE OF TRACT	8.26 ACRES
ZONING CLASSIFICATION	R3
NUMBER OF LOTS	32
DENSITY	3.87 LOTS/AC.
COMMON OPEN SPACE	2

LAKELAND HEIGHTS
SUBDIVISION

PRIVATE DRAINAGE EASEMENT IS RESERVED ALONG THE REAR OF LOTS 1-8. CONVEYANCE MAY BE IN THE FORM OF SWALE OR PRIVATE STORM SEWER. DEVELOPER AND BUILDING PERMIT HOLDER SHALL COORDINATE DURING CONSTRUCTION OF EACH HOUSE. UPON OCCUPANCY THE CONVEYANCE SHALL BE THE MAINTENANCE RESPONSIBILITY OF THE HOMEOWNER.

VICINITY MAP n.t.s.



NOTE: LOT GRADING AND DRAINAGE FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE. THE FINISH GRADE MUST BEGIN AT LEAST 10 INCHES BELOW THE TOP OF THE FOUNDATION WALL OR THE GRADE OF THE CONCRETE SLAB AT THE INTERIOR IN THE CASE OF AN INTERGRAL SLAB AND FOUNDATION. THE MINIMUM GRADE AWAY FROM THE FOUNDATION SHALL BE AT LEAST 5% IN ALL DIRECTIONS FOR 10 FEET. THE DRIVEWAY SHALL BE SLOPED DOWN AT 2% FOR AT LEAST 8 FEET FROM THE STRUCTURE.

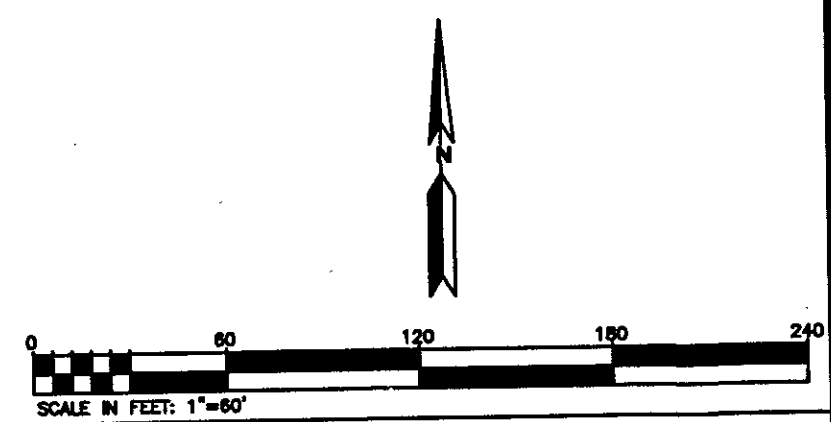
RESERVED FOR STORM WATER DETENTION NOTE

THE AREAS DENOTED BY "RESERVED FOR STORM WATER DETENTION" SHALL NOT BE USED AS A BUILDING SITE OR FILLED WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM THE CITY ENGINEER, AS APPLICABLE. THE STORM WATER DETENTION SYSTEMS LOCATED IN THESE AREAS, EXCEPT FOR THOSE PARTS LOCATED IN A PUBLIC DRAINAGE EASEMENT, SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER AND/OR PROPERTY OWNER'S ASSOCIATION. SUCH MAINTENANCE SHALL BE PERFORMED SO AS TO ENSURE THAT THE SYSTEM OPERATES IN ACCORDANCE WITH THE APPROVED PLAN ON FILE IN THE CITY/COUNTY ENGINEER'S OFFICE. SUCH MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO REMOVAL OF SEDIMENTATION, FALLEN OBJECTS, DEBRIS AND TRASH, MOWING, OUTLET CLEANING AND REPAIR OF DRAINAGE STRUCTURES. THE CITY ENGINEER SHALL HAVE A "RIGHT OF ACCESS" TO USE THE DRIVES, PARKING AREAS AND YARDS OF THIS PROPERTY TO MAKE INSPECTIONS OF THE STORM WATER DETENTION FACILITY TO ENSURE THAT SAID MAINTENANCE HAS BEEN PROPERLY PERFORMED. IN THE EVENT THAT THE PROPERTY OWNER OR OWNERS' ASSOCIATION HAS NOT PROPERLY PERFORMED MAINTENANCE ON THE FACILITY, TO THE EXTENT THAT THE FACILITY POSES A THREAT TO PUBLIC HEALTH, SAFETY OR WELFARE, THE CITY/COUNTY SHALL RETAIN THE RIGHT TO PERFORM EMERGENCY REPAIRS TO THE FACILITY. THE COST OF ANY SUCH REPAIRS WILL REMAIN THE RESPONSIBILITY OF THE PROPERTY OWNER OF OWNERS' ASSOCIATION, AND MAY BE ADDED AS A LIEN ON NEXT YEAR'S TAX BILL.

STREET NAME	WIDTH	SIDE	LOCATION FROM CURBLINE
EVERGREEN ROAD	5 FT.	WEST	9 Foot Landscape Easement
EVERGREEN MANOR COVE	5 FT.	Both	9 Foot Landscape Easement

THE REQUIRED SIDEWALK SHALL BE INSTALLED ACROSS THE FRONTAGE OF EACH LOT BY THE BUILDING PERMIT HOLDER PRIOR TO USE AND OCCUPANCY OF THE HOUSE (EXCEPT AS NOTED BELOW). EXISTING SIDEWALKS SHALL BE REPAIRED AS NECESSARY BY THE BUILDING PERMIT HOLDER ACROSS THE LOT FRONTAGE PRIOR TO OCCUPANCY OF THE HOUSE OR BUILDING. DEVELOPER SHALL BE RESPONSIBLE FOR INSTALLATION OF ALL SIDEWALKS ALONG COS AND EVERGREEN ROAD FRONTAGE. HOMEOWNER'S ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTENANCE OF SIDEWALKS ON COS LOTS.

- GENERAL NOTES:
- A FIVE (5) FOOT UTILITY EASEMENT IS RESERVED ALONG ALL FRONT, SIDE AND REAR LOT LINES. ADDITIONAL EASEMENTS AS SHOWN.
 - A 9.5' UTILITY EASEMENT AND LANDSCAPE STRIP IS RESERVED ALONG THE FRONTAGE OF ALL LOTS. SEE LANDSCAPE PLAN FOR PLANTING DETAILS.
 - IT SHALL BE THE RESPONSIBILITY OF THE HOUSE BUILDER TO INSURE THAT THE HOUSE LAYOUT AND ELEVATION CONFORM TO THE APPROVED GRADING PLAN AND ALL CITY OF LAKELAND REGULATIONS.
 - BUILDING SETBACKS SHALL BE AS FOLLOWS:
 - FRONT SETBACK: 15 FEET
 - REAR YARD SETBACK: 15 FEET
 - SIDE YARD SETBACK: 5 FEET
 - A HOMEOWNERS ASSOCIATION SHALL BE FORMED TO PROVIDE FOR THE OWNERSHIP AND UPKEEP OF ALL COMMON OPEN SPACES AND PRIVATE DRIVES.
 - EACH LOT SHALL HAVE ONE (1) TREE (2"-2.5" CALIPER MINIMUM) FOR EVERY FORTY (40) FEET OF STREET FRONTAGE WITH A MINIMUM OF ONE (1) STREET TREE PER STREET FRONTAGE.
 - STREET TREE SPACING MAY BE ADJUSTED TO ACCOMMODATE DRIVEWAYS, UTILITIES, ETC. SO LONG AS THE MINIMUM SPACING REQUIREMENT IS MET.
 - STREET TREES SHALL BE MEDIUM OR LARGE OVERSTORY TREES IN ACCORDANCE WITH THE CITY OF LAKELAND TREE SPECIES SELECTION LIST.
 - ALL LOTS SHALL COMPLY WITH CITY OF LAKELAND TREE MANAGEMENT ORDINANCE.
 - ALL LOTS IN THIS SUBDIVISION ARE SUBJECT TO THE DECLARATION OF COVENANTS AND RESTRICTIONS AS SUBMITTED IN THE SHELBY COUNTY REGISTER'S OFFICE UNDER INSTRUMENT
 - THE CITY OF LAKELAND SHALL HAVE THE RIGHT TO ENTER THE PROPERTY FOR THE PURPOSE OF MAINTAINING DRAINAGE, WATER, AND SEWER SYSTEMS WITHIN PUBLIC EASEMENTS. HOWEVER, THE CITY DOES NOT HAVE THE RESPONSIBILITY TO REPAIR ANY DAMAGE TO THE GROUND CAUSED BY SOIL SETTLEMENT OR OTHER REASONS THAT ARE NOT CAUSED DIRECTLY BY THE CITY'S ACTION OF PERFORMING MAINTENANCE TO THE UNDERGROUND SYSTEM.



FINAL PLAT

EVERGREEN MANOR SUBDIVISION

EXISTING ZONING DISTRICT: R3

LAKELAND, SHELBY COUNTY, TENNESSEE

LOTS: 32 AREA: 8.26 ACRES

DEVELOPER: EVERGREEN MANOR LLC.
10971 CHAPEL HILL RD.
LAKELAND, TN 38002
(901) 569-6345

ENGINEER: THE BRAY FIRM
2950 STAGE PLAZA NORTH
BARTLETT, TN 38134
(901) 383-8668

FEMA MAP PANEL NUMBER: 47157C0218G
FEMA MAP DATE: FEBRUARY 6, 2013

THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD.

DATE: MAY 2018 SCALE: 1"=60' SHEET 1 OF 2

07/27/2018 18075679 01:06 PM

2 PGS LACI 1264623-18075679

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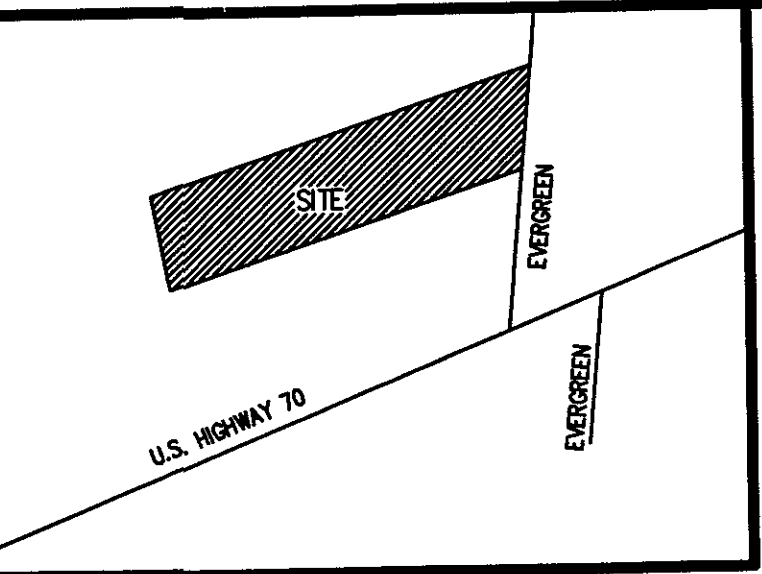
RECORDING FEE: 15.00
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TOM LEATHERWOOD
REGISTER OF DEEDS SHELBY COUNTY TENNESSEE

LAKELAND EVERGREEN PARTNERSHIP, L.L.C.
5.46 ACRES
INST. # 050573931

GEORGE MUNCHOW
17.55 ACRES
INST. # FM 0161
(360958.89, 857417.57)

IVY CREEK P.D.
18.844 ACRES
PLAT BOOK 227, PG. 27

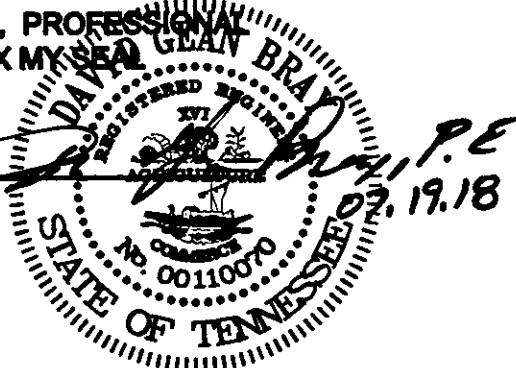


CERTIFICATE ENGINEER

I, DAVID GEAN BRAY, A PROFESSIONAL ENGINEER, DO HEREBY CERTIFY THAT THE DESIGN OF PUBLIC AND PRIVATE IMPROVEMENTS PROVIDED FOR IN THE PRELIMINARY PLAT / CONSTRUCTION PLANS / FINAL PLAT (WHICHEVER IS APPLICABLE) ARE IN ACCORDANCE WITH ACCEPTABLE ENGINEERING PRACTICES, THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, CITY OF LAKELAND MANUAL FOR PUBLIC WORKS AND MATERIALS SPECIFICATIONS, AND ALL CITY OF LAKELAND ORDINANCES, INCLUDING SUBDIVISIONS.

IN WITNESS WHEREOF, I, THE SAID DAVID GEAN BRAY, PROFESSIONAL CIVIL ENGINEER, HEREUNTO SET OUT HAND AND AFFIX MY SEAL THIS 19 DAY OF JULY, 2018.

PROFESSIONAL CIVIL ENGINEER
STATE OF TENNESSEE CERTIFICATE NO. 110070



CERTIFICATE OF MORTGAGEE AND DEDICATION:

WE, THE MORTGAGEE, FIRSTBANK, DO HEREBY FREELY CONSENT TO THE SUBDIVISION OF THIS PROPERTY IN ACCORDANCE WITH THE FINAL PLAT; DEDICATE THE PUBLIC IMPROVEMENTS, EASEMENTS, OR LANDS HEREIN SPECIFICALLY IDENTIFIED FOR DEDICATION, TO THE APPROPRIATE AGENCIES AS OUTLINED IN THIS PLAT AND APPROVED BY THE MUNICIPAL PLANNING COMMISSION OF LAKELAND, TENNESSEE FOR THE PURPOSES OF OPERATION, CONSTRUCTION AND MAINTENANCE OF THESE IMPROVEMENTS, AS NEEDED FOR THE PROPER DEVELOPMENT AND MAINTENANCE OF SAID SUBDIVISION.

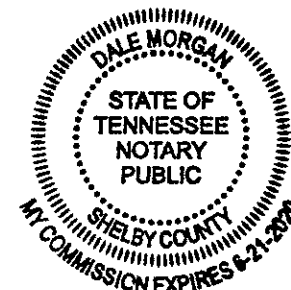
[Signature] 7/23/18
SIGNATURE OF AUTHORIZED AGENT OF MORTGAGEE DATE

STATE OF TENNESSEE
COUNTY OF SHELBY

BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED BOB WORD WITH WHOM I AM PERSONALLY ACQUAINTED (OR PROVED TO ME BASED ON SATISFACTORY EVIDENCE), AND THAT S/HE EXECUTED THE INSTRUMENT SET FORTH ABOVE FOR THE PURPOSES THEREIN CONTAINED, BY SIGNING HIS NAME.

WITNESS MY HAND AND NOTARIAL SEAL, THIS 23 DAY OF JULY, 2018.

MY COMMISSION EXPIRES 6-21-2020
[Signature] NOTARY PUBLIC

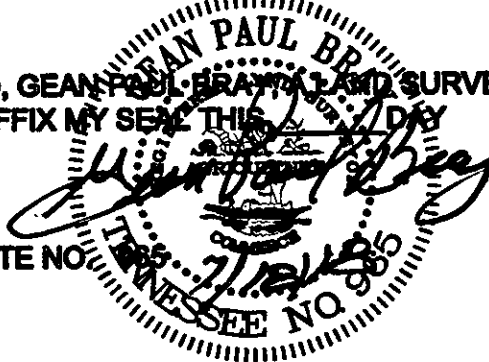


CERTIFICATE OF SURVEYOR:

I, GEAN PAUL BRAY, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM NOTES TAKEN DURING AN ACTUAL SURVEY MADE BY ME DURING THE MONTH OF , 20 , AND THAT THIS PLAT OR SITE PLAN CORRECTLY REPRESENTS SAID SURVEY. ALL BEARINGS ARE REFERENCED TO THE 1983 TENNESSEE STATE PLANE COORDINATE SYSTEM; ALL NEW PROPERTY CORNERS ARE MARKED IN ACCORDANCE WITH LAKELAND SUBDIVISION STANDARDS; THE PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000 OR GREATER AND ALL SPECIAL FLOOD HAZARD AREAS ARE PROPERLY LOCATED AS PER THE LATEST FLOOD INSURANCE RATE MAP. ALL DIMENSIONS ARE EXPRESSED IN FEET AND DECIMALS. ALL BEARINGS, DISTANCES, AND FIELD INFORMATION ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

IN WITNESS WHEREOF, I THE SAID, GEAN PAUL BRAY, SURVEYOR, HEREUNTO SET OUT HAND AND AFFIX MY SEAL THIS 19 DAY OF JULY, 2018.

LAND SURVEYOR
STATE OF TENNESSEE CERTIFICATE NO.



CERTIFICATE OF MUNICIPAL PLANNING COMMISSION APPROVAL - SUBDIVISION

I, Jerry Dunc, DO HEREBY CERTIFY THAT THE CITY OF LAKELAND MUNICIPAL PLANNING COMMISSION HAS APPROVED THIS FINAL PLAT. THE SIGNING OF THIS CERTIFICATE SHALL IN NO WAY BE DEEMED TO CONSTITUTE OR EFFECT AN ACCEPTANCE OF THE DEDICATION OF ANY STREET, IMPROVEMENT, OR OTHER GROUND SHOWN UPON THE PLAT.

[Signature] 7/26/2018
MPC SECRETARY DATE

CERTIFICATE OF OWNER(S) AND DEDICATION:

THE UNDERSIGNED, BILL MAY, HERE BY CERTIFY THAT HE IS THE CHIEF MANAGER OF EVERGREEN MANOR, LLC. AND THAT THE PLAT IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE ABOVE NAMED OWNERS, PROPRIETORS, DO HEREBY DEDICATE TO THE CITY OF LAKELAND AND ALL PUBLIC IMPROVEMENTS, EASEMENTS, OR LANDS HEREIN SPECIFICALLY IDENTIFIED FOR DEDICATION, FOR THE PURPOSES OF OPERATION, CONSTRUCTION AND MAINTENANCE OF THESE IMPROVEMENTS, AS NEEDED FOR THE PROPER DEVELOPMENT AND MAINTENANCE OF SAID SUBDIVISION.

Bill May 7/23/18
EVERGREEN MANOR, LLC. DATE

CERTIFICATE OF NATURAL RESOURCES DIRECTOR

THE PRELIMINARY / FINAL PLAT / SITE PLAN IS REVIEWED AND DEEMED COMPLIANT WITH THE LAND DEVELOPMENT REGULATIONS, SUBJECT TO ANY WAIVERS, MODIFICATIONS, OR VARIANCES THEREOF GRANTED BY THE CITY OF LAKELAND, AND IF APPLICABLE, HAVE RECEIVED REVIEW BY THE P&R/NRB.

 NATURAL RESOURCES DIRECTOR OR DESIGNEE DATE

CERTIFICATE OF CITY ENGINEER

THE FINAL PLAT IS REVIEWED AND DEEMED COMPLIANT WITH THE LAND DEVELOPMENT REGULATIONS, SUBJECT TO ANY WAIVERS, MODIFICATIONS, OR VARIANCES THEREOF GRANTED BY THE CITY OF LAKELAND.

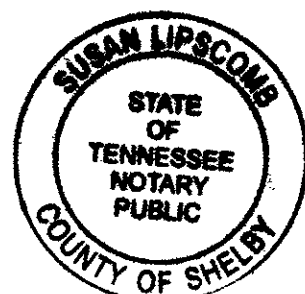
[Signature] 7/27/18
CITY ENGINEER DATE

STATE OF TENNESSEE
COUNTY OF SHELBY

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR THE STATE AND COUNTY AFORESAID, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED BILL MAY WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO, UPON OATH, ACKNOWLEDGES HIMSELF TO BE OWNER OF EVERGREEN MANOR, LLC. AND HE AS SUCH OWNER, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THEREIN CONTAINED BY SIGNING HIS NAME AS OWNER.

WITNESS MY HAND AND NOTARIAL SEAL, THIS 23 DAY OF JULY, 2018.

MY COMMISSION EXPIRES 12/7/2020
[Signature] NOTARY PUBLIC



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REGISTER OF DEEDS SHELBY COUNTY TENNESSEE

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LAKELAND, SHELBY COUNTY, TENNESSEE		
LOTS: 32	AREA: 8.28 ACRES	
DEVELOPER: EVERGREEN MANOR LLC. 10971 CHAPEL HILL RD. LAKELAND, TN 38002 (901) 569-6345	ENGINEER: THE BRAY FIRM 2950 STAGE PLAZA NORTH BARTLETT, TN 38134 (901) 383-8668	
THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD.	FEMA MAP PANEL NUMBER: 47157C0218G	FEMA MAP DATE: FEBRUARY 8, 2013
DATE: MAY 2018	SCALE: 1"=80'	SHEET 2 OF 2